

## RESIDENTIAL SWIMMING POOL APPLICATION

### APPLICATION:

Any owner or authorized agent who intends to construct, enlarge, alter, repair, move, demolish, or change the occupancy of a building or structure, or to erect, install, enlarge, alter, repair, remove, convert or replace any electrical, gas, mechanical or plumbing system, the installation of which is regulated by codes and ordinances adopted by the city, or to cause any such work to be done, shall first make application to the building official and obtain the required permit.

The following sections of the Lakeway Code of Ordinances apply:

- Section 24.02.443
- Section 24.02.445

The City of Lakeway has adopted the following codes:

- International Building Code – 2009 Edition, including all appendices except for appendices A, B, H and J
- International Residential Code for One- and Two-Family Dwellings – 2009 Edition, with the exception of chapters 25 to 32 (plumbing), including all appendices except for appendices E and L
- International Energy Conservation Code – 2009 Edition
- International Mechanical Code – 2009 Edition, including all appendices except for appendix B
- International Fire Code – 2009 Edition as amended by Travis County Emergency Service District No. 6
- International Gas Code – 2009 Edition, including all appendices
- National Electrical Code 2008
- Uniform Plumbing Code – 2009 Edition or as adopted by the service provider

### DEFINITIONS:

**BARRIER** A fence, wall, building wall or combination thereof which completely surrounds the swimming pool and obstructs access to the swimming pool.

**SWIMMING POOL** Any structure intended for swimming or recreational bathing that contains water over 24 inches (610 mm) deep. This includes in-ground, swimming pools, hot tubs and spas. Please note that the City of Lakeway prohibits above-ground swimming pools.

### CHECKLIST:

This list has been prepared as a tool for submitting a complete building permit application package. In no way does this list represent all submittal documents that may be required to demonstrate compliance with local codes and ordinances. Delays in the permit issuance process will occur as a result of incomplete or inadequate submittal information.

### ATTACHMENTS:

- Project Information Sheet
- Construction Documents
- Survey/Site Plan Requirements
- Exhibits (click on links below)
  - ❖ [Structural Cut Section Example](#)
  - ❖ [Cross Section Example and Pool Barrier Construction](#)
  - ❖ [Sample Site Plan](#)
  - ❖ [Contractor Acknowledgement Form\(s\)](#)
  - ❖ [Bonding & Insurance](#)
- Supplemental Information
- Applications



## POOL PROJECT INFORMATION SHEET

<b>General Contractor:</b>		<b>Phone:</b>	
<b>Address:</b>		<b>Fax:</b>	
<b>City:</b>	<b>State:</b>	<b>Zip:</b>	
<b>E-mail:</b>			

★ This checklist must be submitted with the permit application for the pool/spa.

**QUESTIONNAIRE:**

What is the total square footage of the deck/patio area? \_\_\_\_\_ SF

What is the estimated project valuation? \$ \_\_\_\_\_.

Is there an active Architectural Control Board (ACB) over the subject property? Yes  or No ? If yes, provide evidence of plan submission to the ACB.

Is this a golf course property? Yes  or No

Is pool barrier new or existing? Existing  New

What materials will be used to construct the new fence? Check applicable box below:

- Not applicable (fence is existing)
- Wood (constructed so that it is identical on both sides)
- Wrought iron
- Masonry
- Pre-cast concrete

What is the height of the barrier above grade?  4 feet  5 feet  6 feet  Other \_\_\_\_\_ feet \*

\* Staff is only able to approve fence structures up to 6' in height, fence up to 8 feet must be approved by the City Building Commission.

Natural gas:  Public,  Private or  Not Available? If public, who is the provider? \_\_\_\_\_

Propane:  Community,  Individual Tank or  Not Available? If propane is provided by an individual tank, is the tank  above ground or  below ground?

Wastewater:  Public or  Private? \*

\*If wastewater is collected through a private sewage system (septic), will need to obtain swimming pool placement approval from Lower Colorado River Authority (LCRA) and provide approval verification to the City.

## POOL CONSTRUCTION DOCUMENTS

### SUBMITTAL DOCUMENTS:

Swimming pool, spa, and hot tub construction plans and specifications submittal documents shall be submitted in two (2) or more sets with each permit application and shall include plans for all decks, mechanical equipment, landscaping, and other appurtenances along with required equipment screening details. Plans must include the location and details of the required pool enclosure. Where special conditions exist, the building official is authorized to require additional construction documents to be prepared by a registered design professional.

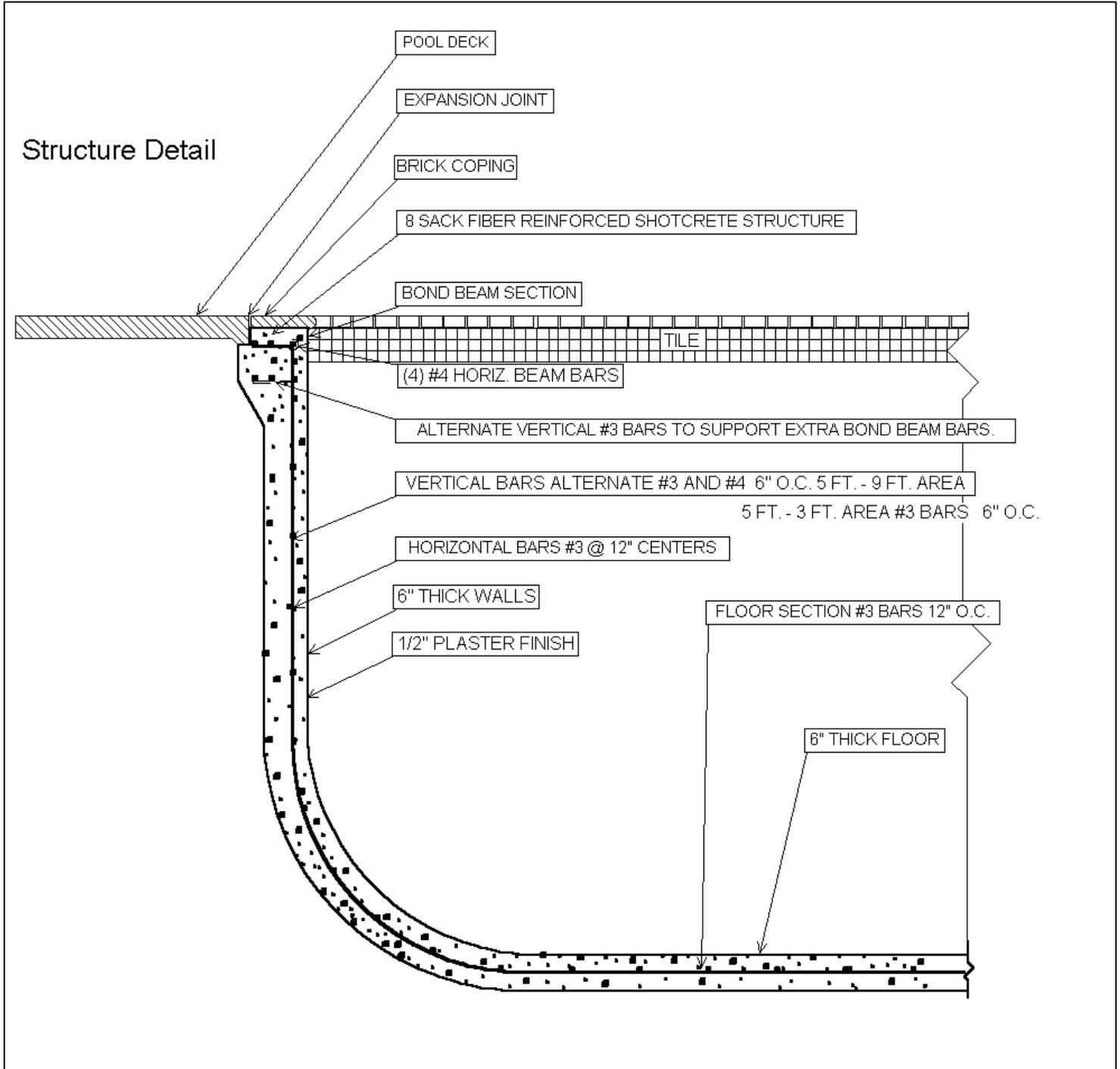
Construction documents shall be dimensioned and drawn upon suitable material and shall include, at a minimum, the following:

- Type of construction (gunite, poured concrete, etc.)
- Pool dimensions including depth, and adequate cross-sections drawn to scale.
- Computations, stress diagrams, and other data sufficient to show the correctness of the plans; including the reinforcing steel schedule and detail
- The interior finish details.
- The pool edge details.
- A statement by the applicant concerning the anticipated nature of the soil under and around the pool/spa structure
- Mechanical plans showing:
  - The volume, system flow rate in gallons per minute, and turnover in hours;
  - The type and size of filtration system and means of waste disposal;
  - The type and size of pool/spa heater, if included, including the method of venting and provisions for combustion air;
  - The pool/spa piping layout with all sizes shown and types of materials to be used; location of the main outlet, surface skimmers, and inlets;
  - The rated capacity of the pool pump in G.P.M. at the design head with the size and type of motor indicated and identified as to type of pump;
  - The means of adding makeup water;
  - The size and length from source to heater and routing of gas line.
- Plan elevations showing the distance of the pool above grade. For all pools which are to be elevated more than two feet (2') above the existing grade, applicant shall provide scaled artistic renderings showing all elevations of the completed pool; clearly indicate that the sections of the pool or spa that are elevated 2 feet or more above grade will be veneered with rock, brick or stucco to match the house and indicate which veneer covering will be used.
- Pool Barrier details which provide the height, materials and spacing of intermediate members. Provide a photograph or drawing of proposed barrier.

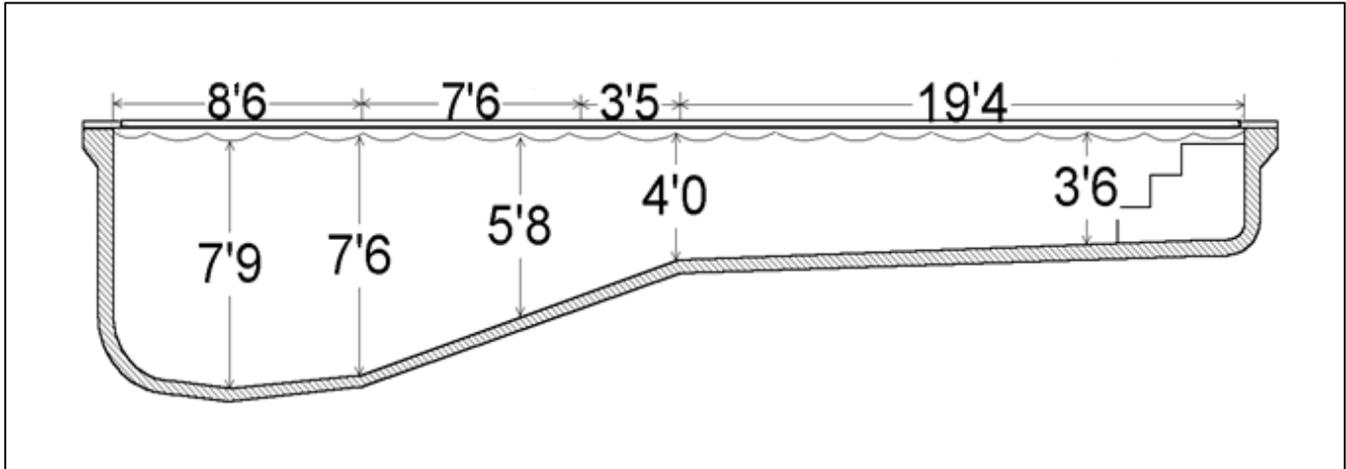
### MISCELLANEOUS SUBMITTAL DOCUMENTS:

- Two copies of the actual survey with Surveyor's signed certification
- Completed project information sheet ([Project Information Sheet](#))

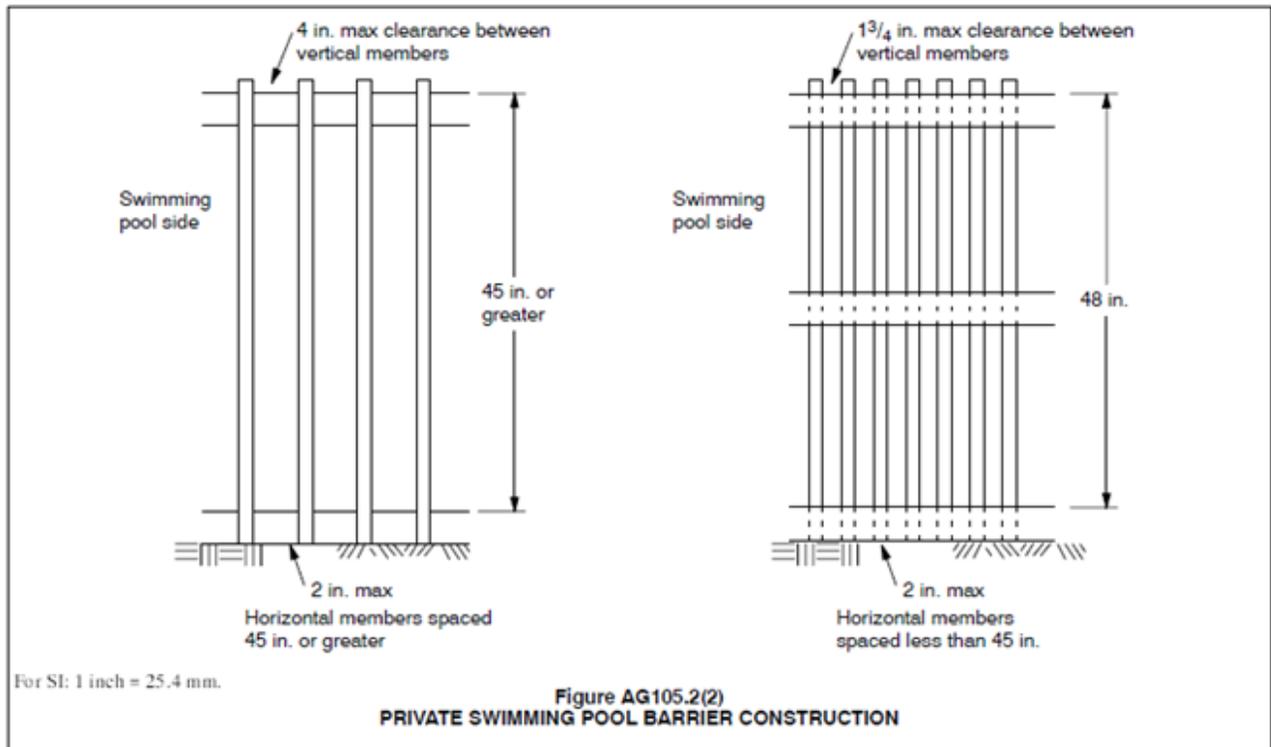
## STRUCTURAL CUT SECTION EXAMPLE



## CROSS SECTION EXAMPLE



## POOL BARRIER CONSTRUCTION



## RESIDENTIAL SURVEY/SITE PLAN

### SURVEY/SITE PLAN

Surveys and site plans shall be dimensioned and drawn upon suitable material and shall include general property information and improvements.

- **General Property Information**

- Provide legal description, lot size, scale and north arrow
- Show all property lines and easements, including bearings, distances and dimensions; identify building setbacks
- Show existing structures, fencing, retaining walls, septic tanks/drainfields, hardwood trees (6" and greater) and other relevant characteristics adjacent to pool/spa area.
- Include a topographic survey of area with 1' contours

- **Improvements**

- Show proposed pool/spa shape and the shape of any other proposed improvements. Provide distances from existing structures, setbacks and property lines.
- Illustrate the proposed swimming pool equipment pad, its dimensions and location as to setbacks and side yards
- Provide equipment screening details and include a gate across maintenance opening.
- Show all deck equipment
- Provide the proposed deck work configuration and show its anticipated drainage
- Illustrate the anticipated overall drainage of the pool site (indicate through directional arrows).
- Provide the location of propane tank and its screening (if applicable).
- Clearly show the location of the pool barrier (a highlighter is a good method of achieving this).
- Show the location of temporary improvements such as erosion control devices, construction fencing, and construction access (*if through an adjoining lot, provide authorization from adjoining lot owner*). Include the location of the chemical toilet or provide a letter from the homeowner indicating that workers will have the use of the indoor facilities.

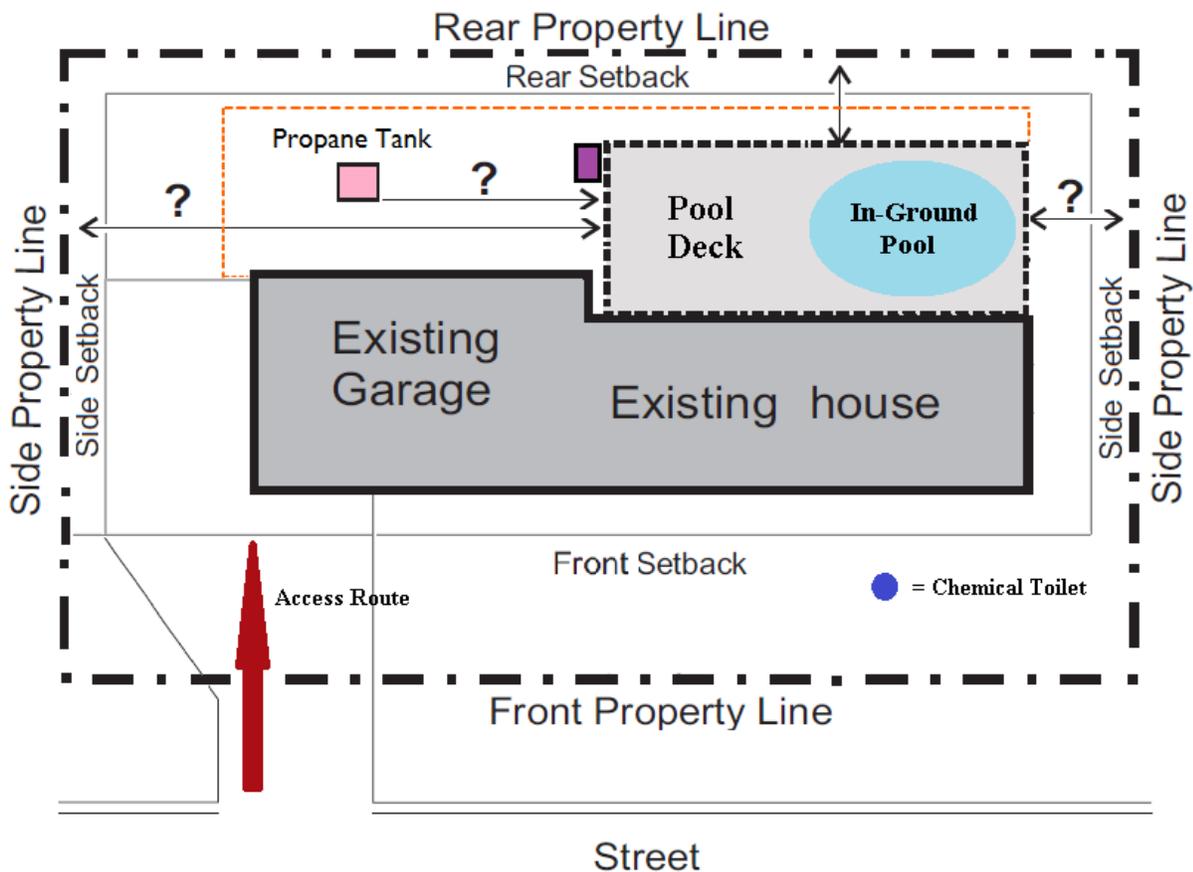
- **General Notes**

- Provide a note to indicate drainage will not adversely impact adjoining lots and that drainage exiting the lot onto an abutting property will be directed to a common property pin.
- Include a note stating that any section(s) of the pool improvements which are elevated 2 feet or more above grade will be veneered with rock, brick or stucco to match the house.

## SAMPLE SITE PLAN

**Legend:**

- ? = Provide distances from the pool improvements to all property lines, propane tank, septic field and septic tanks (if applicable).
- - - = Construction fencing around limits of construction and silt fence along run off sides of lot
- = Pool Equipment and screening



**Additional Requirements:**

- Provide topographic contours in 1' increments
- Include a north indicating arrow
- Clearly show the location of the pool barrier (use a highlighter)
- Indicate the overall drainage of the pool site through the use of directional arrows.



Building & Development Services  
 1102 Lohmans Crossing, Lakeway, TX 78734  
 Phone: (512) 314-7540 Fax: (512) 314-7541  
[www.lakeway-tx.gov](http://www.lakeway-tx.gov)



## CONTRACTOR ACKNOWLEDGEMENT FORM

**ACKNOWLEDGEMENT:**

*I do hereby acknowledge that any owner or authorized agent who intends to construct, enlarge, alter, repair, move, demolish, or change the occupancy of a building or structure, or to erect, install, enlarge, alter, repair, remove, convert or replace any electrical, gas, mechanical or plumbing system, the installation of which is regulated by the most current adopted version of the building codes adopted by the City of Lakeway, Travis County, Texas, or to cause any such work to be done, shall first make application to the building official and obtain the required permit and that issuance of a permit shall not be held to permit or to be an approval of the violation of any provision of any state or local law.*

*Application is hereby made to obtain a permit to do work and installation as indicated on the approved construction drawings.*

**PROJECT/PERMIT NO.:** \_\_\_\_\_

<b>Electrical Contractor:</b>		<b>Phone:</b>	
<b>Address:</b>		<b>Fax:</b>	
<b>City:</b>	<b>State:</b>	<b>Zip:</b>	
<b>E-mail:</b>			

<b>Master Electrician:</b>	<b>TDLR License No.:</b>
<b>License Type:</b>	<b>Expiration Date:</b>

**AFFIDAVIT:**

*I certify that all work will be performed under my supervision in accordance with state and local laws and that the information contained in this form is true and correct to the best of my knowledge.*

**SIGNATURE OF MASTER LICENSE HOLDER:** \_\_\_\_\_



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*Application is hereby made to obtain a permit to do work and installation as indicated on the approved construction drawings.*

**PROJECT/PERMIT NO.:** \_\_\_\_\_

<b>Plumbing Contractor:</b>		<b>Phone:</b>	
<b>Address:</b>		<b>Fax:</b>	
<b>City:</b>	<b>State:</b>	<b>Zip:</b>	
<b>E-mail:</b>			

<b>Master Plumber:</b>	<b>TSBPE License No.:</b>
<b>License Type:</b>	<b>Expiration Date:</b>

**AFFIDAVIT:**

*I certify that all work will be performed under my supervision in accordance with state and local laws and that the information contained in this form is true and correct to the best of my knowledge.*

**SIGNATURE OF MASTER LICENSE HOLDER:** \_\_\_\_\_



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## **BONDING & INSURANCE**

### **BONDING**

Before a permit for construction of any improvement is issued, the applicant shall submit to the city a permit bond in a form acceptable to the city in the principal sum of ten thousand dollars (\$10,000.00). Such bond shall secure and be used for the payment of any and all damages to persons or property (including the city) which damages arise from, or are caused by, any act or conduct taken or authorized by the permit holder or any permit actor. Among the damages secured by the permit bond and for which the bond amount is payable is the cost to the city to cure or abate any condition deemed or found to be a nuisance pursuant to any city ordinance or other applicable law caused by defective, incomplete or noncompliant construction of any improvement to real property.

Governmental agencies shall not be required to submit a permit bond.

### **INSURANCE**

Before a permit is granted under this article, the applicant shall furnish to the city a certificate of insurance showing a waiver of subrogation in favor of the city and the city as the certificate holder, proving that he has procured public liability and property damage insurance in the following amounts:

- (A) For damages arising out of bodily injury or death of one person in any one accident: \$250,000.00.
- (B) For damages arising out of bodily injury or death of two or more persons in any one accident: \$500,000.00.
- (C) For injury or destruction of property in any one accident: \$250,000.00.

Such insurance shall be kept in full force and effect during the period of time for which a permit shall be issued or until the issuance of a certificate of occupancy or certificate of completion.

Governmental agencies shall not be required to submit proof of insurance.

## SUPPLEMENTAL INFORMATION

### EXCERPTS FROM APPENDIX G, International Residential Code

Drowning is the second leading cause of accidental death in the home for children under five years of age. It has been the number one cause of accidental deaths in the home for that age group in a number of states, including Arizona, California, Florida, and Texas. The use of effective residential swimming pool barriers is the best way to reduce these tragic losses. This appendix chapter sets forth the regulations for swimming pools, hot tubs, and spas. The primary focus of the provisions is the need for an effective barrier surrounding the water area to reduce the potential for young children to gain uncontrolled access.

### SECTION AG106, Barrier Requirements

**AG105.1 Application.** The provisions of this chapter shall control the design of barriers for residential swimming pools, spas and hot tubs. These design controls are intended to provide protection against potential drownings and near-drownings by restricting access to swimming pools, spas and hot tubs.

**AG105.2 Outdoor swimming pool.** An outdoor swimming pool, including an in-ground, above-ground or on-ground pool, hot tub or spa shall be surrounded by a barrier which shall comply with the following:

1. The top of the barrier shall be at least 48 inches (1219 mm) above *grade* measured on the side of the barrier which faces away from the swimming pool. The maximum vertical clearance between grade and the bottom of the barrier shall be 2 inches (51 mm) measured on the side of the barrier which faces away from the swimming pool. Where the top of the pool structure is above grade, such as an above-ground pool, the barrier may be at ground level, such as the pool structure, or mounted on top of the pool structure. Where the barrier is mounted on top of the pool structure, the maximum vertical clearance between the top of the pool structure and the bottom of the barrier shall be 4 inches (102 mm).

2. Openings in the barrier shall not allow passage of a 4-inch-diameter (102 mm) sphere.

3. Solid barriers which do not have openings, such as a masonry or stone wall, shall not contain indentations or protrusions except for normal construction tolerances and tooled masonry joints.

4. Where the barrier is composed of horizontal and vertical members and the distance between the tops of the horizontal members is less than 45 inches (1143 mm), the horizontal members shall be located on the swimming pool side of the fence. Spacing between vertical members shall not exceed  $1\frac{3}{4}$  inches (44 mm) in width.

Where there are decorative cutouts within vertical members, spacing within the cutouts shall not exceed  $1\frac{3}{4}$  inches (44 mm) in width.

5. Where the barrier is composed of horizontal and vertical members and the distance between the tops of the horizontal members is 45 inches (1143 mm) or more, spacing between vertical members shall not exceed 4 inches (102 mm). Where there are decorative cutouts within vertical members, spacing within the cutouts shall not exceed  $1\frac{3}{4}$  inches (44 mm) in width.

6. Maximum mesh size for chain link fences shall be a  $2\frac{1}{4}$ -inch (57 mm) square unless the fence has slats fastened at the top or the bottom which reduce the openings to not more than  $1\frac{3}{4}$  inches (44 mm).

7. Where the barrier is composed of diagonal members, such as a lattice fence, the maximum opening formed by the diagonal members shall not be more than  $1\frac{3}{4}$  inches (44 mm).

8. Access gates shall comply with the requirements of [Section AG105.2](#), Items 1 through 7, and shall be equipped to accommodate a locking device. Pedestrian access gates shall open outward away from the pool and shall be self-closing and have a self-latching device. Gates other than pedestrian

access gates shall have a self-latching device. Where the release mechanism of the self-latching device is located less than 54 inches (1372 mm) from the bottom of the gate, the release mechanism and openings shall comply with the following:

8.1. The release mechanism shall be located on the pool side of the gate at least 3 inches (76 mm) below the top of the gate; and

8.2. The gate and barrier shall have no opening larger than  $\frac{1}{2}$  inch (12.7 mm) within 18 inches (457 mm) of the release mechanism.

~~9. Where a wall of a dwelling serves as part of the barrier, one of the following conditions shall be met:~~

~~9.1. The pool shall be equipped with a powered safety cover in compliance with ASTM F 1346; or~~

~~9.2. Doors with direct access to the pool through that wall shall be equipped with an alarm which produces an audible warning when the door and/or its screen, if present, are opened. The alarm shall be listed and labeled in accordance with UL 2017. The deactivation switch(es) shall be located at least 54 inches (1372 mm) above the threshold of the door; or~~

~~9.3. Other means of protection, such as self-closing doors with self-latching devices, which are approved by the governing body, shall be acceptable as long as the degree of protection afforded is not less than the protection afforded by Item 9.1 or 9.2 described above.~~

10. Where an above-ground pool structure is used as a barrier or where the barrier is mounted on top of the pool structure, and the means of access is a ladder or steps:

10.1. The ladder or steps shall be capable of being secured, locked or removed to prevent access; or

10.2. The ladder or steps shall be surrounded by a barrier which meets the requirements of [Section AG105.2](#), Items 1 through 9. When the ladder or steps are secured, locked or removed, any opening created shall not allow the passage of a 4-inch-diameter (102 mm) sphere.

#### **BARRIER EXCEPTIONS**

Spas or hot tubs with an approved safety cover shall be exempt.

### **Section AG106, Entrapment Protection for Swimming Pool and Spa Suction Outlets**

Suction outlets shall be designed to produce circulation throughout the pool or spa. Single outlet systems, such as automatic vacuum cleaner systems, or other such multiple suction outlets whether isolated by valves or otherwise shall be protected against user entrapment. Suction outlets shall be designed and installed in accordance with ANSI/APSP-7.

Vacuum devices for suction inlet systems in pool water circulation are a safety hazard. Body entrapment or hair entrapment can cause drowning and evisceration. Therefore it is important that protection be provided against possible entrapment at the pool entrances to suction inlets and that vacuum relief be provided for the vacuum system. ANSI/APSP-7 provides requirements intended to prevent entrapment.



## APPLICATION FOR RESIDENTIAL BUILDING PERMIT

(CHECK ONE & INCLUDE NECESSARY SUPPORTING MATERIAL)

- |                                     |                                          |                                       |
|-------------------------------------|------------------------------------------|---------------------------------------|
| <input type="checkbox"/> NEW HOUSE  | <input type="checkbox"/> ADDITION        | <input type="checkbox"/> POOL/SPA     |
| <input type="checkbox"/> DECK/PATIO | <input type="checkbox"/> FENCE           | <input type="checkbox"/> LANDSCAPING  |
| <input type="checkbox"/> RE-ROOF    | <input type="checkbox"/> HVAC CHANGE OUT | <input type="checkbox"/> OTHER: _____ |

<b>ADDRESS OF PROPERTY:</b>		<b>GOLF COURSE LOT?</b> <input type="checkbox"/> YES <input type="checkbox"/> NO	
<b>LEGAL DESCRIPTION (SUBDIVISION, SECTION, LOT NUMBER):</b>		<b>VALUE OF PROPOSED WORK:</b>	
<b>PROPERTY OWNER NAME:</b>		<b>TELEPHONE:</b>	<b>E-MAIL:</b>
<b>MAILING ADDRESS:</b>		<b>CITY:</b>	<b>STATE    ZIP CODE</b>
<b>CONTRACTOR:</b>	<b>CONTACT NAME:</b>	<b>TELEPHONE:</b>	<b>E-MAIL:</b>
<b>MAILING ADDRESS:</b>		<b>CITY:</b>	<b>STATE    ZIP CODE</b>
<b>BRIEF DESCRIPTION OF PROPOSED WORK:</b>			

**(FOR CITY USE ONLY)**

<b>SUBMITTAL VERIFICATION/INSPECTION AUTHORIZATION:</b>	
<p>That I, as owner or duly authorized officer of the property hereinafter referenced, do hereby execute this document, acknowledge the above statements to be true and accurate to the best of knowledge, and understand that knowing and willful falsification of information will result in rejection of my application and may be subject to criminal prosecution. I have received, read and understand the terms and conditions of this request, and agree to compliance with all applicable codes and ordinances of the City. I authorize the City or their representatives to visit and inspect the property for which this application is being submitted. I further understand that City Staff review time may take up to twelve (12) business days per review.</p>	
<hr style="width: 80%; margin: 0 auto;"/> <b>APPLICANT SIGNATURE</b>	
<hr style="width: 80%; margin: 0 auto;"/> <b>PRINTED NAME</b>	<hr style="width: 80%; margin: 0 auto;"/> <b>DATE</b>

<b>PERMIT NUMBER:</b>				
<b>AMOUNT RECEIVED:</b>				
<table style="width: 100%; border: none;"> <tr> <td style="width: 50%;"><b>BOND</b></td> <td style="width: 50%;"><b>INSURANCE</b></td> </tr> <tr> <td style="text-align: center;"><input type="checkbox"/></td> <td style="text-align: center;"><input type="checkbox"/></td> </tr> </table>	<b>BOND</b>	<b>INSURANCE</b>	<input type="checkbox"/>	<input type="checkbox"/>
<b>BOND</b>	<b>INSURANCE</b>			
<input type="checkbox"/>	<input type="checkbox"/>			



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## REEXAMINATION REQUEST

**PROJECT ADDRESS:** \_\_\_\_\_

PRE-ISSUANCE

POST-ISSUANCE

<b>APPLICANT:</b>	<b>TELEPHONE:</b>	<b>E-MAIL</b>	
<b>MAILING ADDRESS:</b>	<b>CITY:</b>	<b>STATE</b>	<b>ZIP CODE</b>

**PLEASE USE THE SPACE BELOW TO FURTHER DESCRIBE THE CONTENT OF YOUR REQUEST:**

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<b>SUBMITTAL VERIFICATION/INSPECTION AUTHORIZATION:</b>	
<p>That I, as owner or duly authorized officer of the property hereinafter referenced, do hereby execute this document, acknowledge the above statements to be true and accurate to the best of knowledge, and understand that knowing and willful falsification of information will result in rejection of my application and may be subject to criminal prosecution. I have received, read and understand the terms and conditions of this request, and agree to compliance with all applicable codes and ordinances of the City. I authorize the City or their representatives to visit and inspect the property for which this application is being submitted. I further understand that City Staff review time may take up to seven (7) business days per review.</p>	
<p>_____</p> <p><b>APPLICANT SIGNATURE</b></p>	
<p>_____</p> <p><b>PRINTED NAME</b></p>	<p>_____</p> <p><b>DATE</b></p>

<b>(FOR CITY USE ONLY)</b>
<b>PERMIT NUMBER:</b>
<b>NOTES:</b>